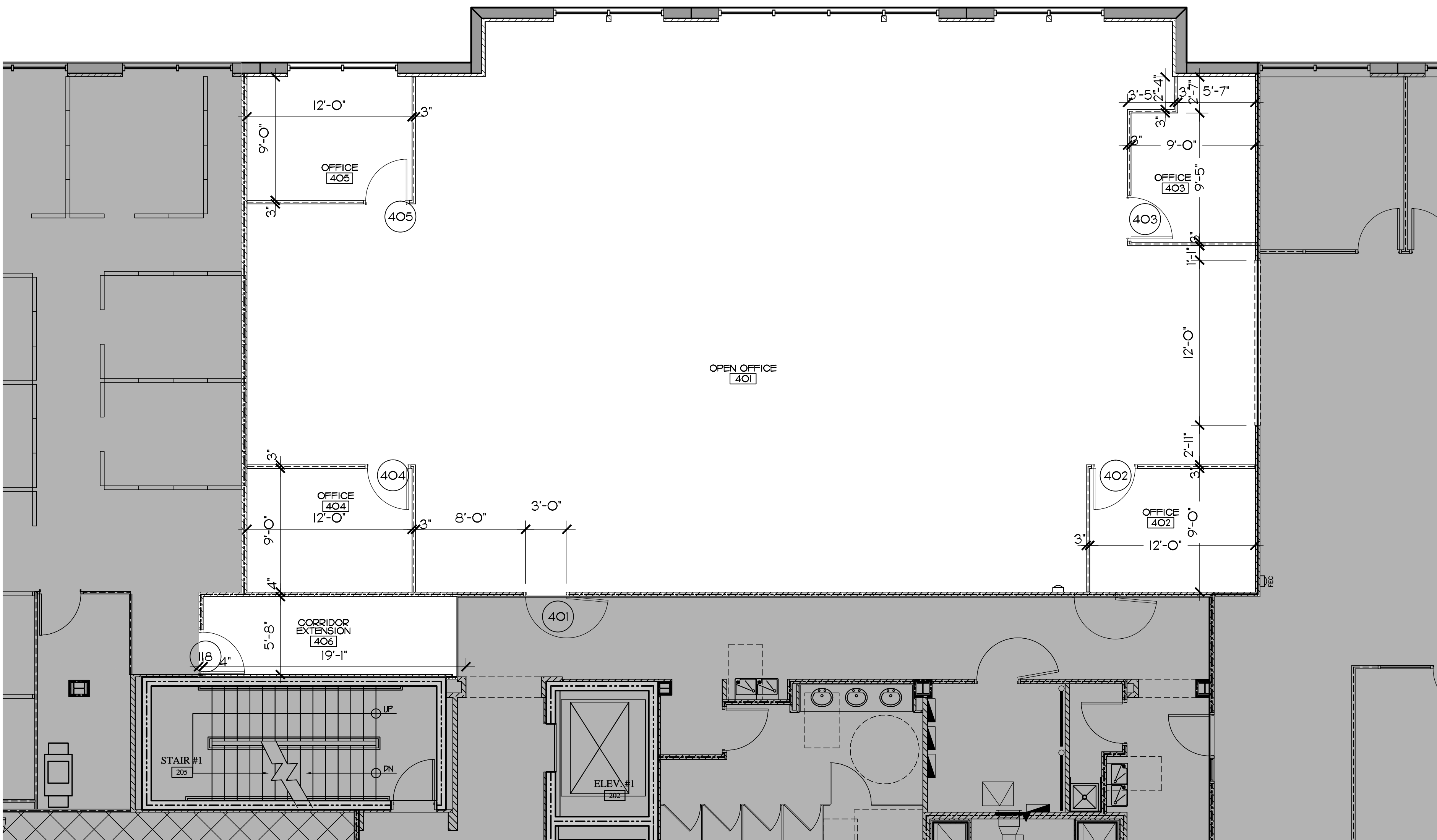
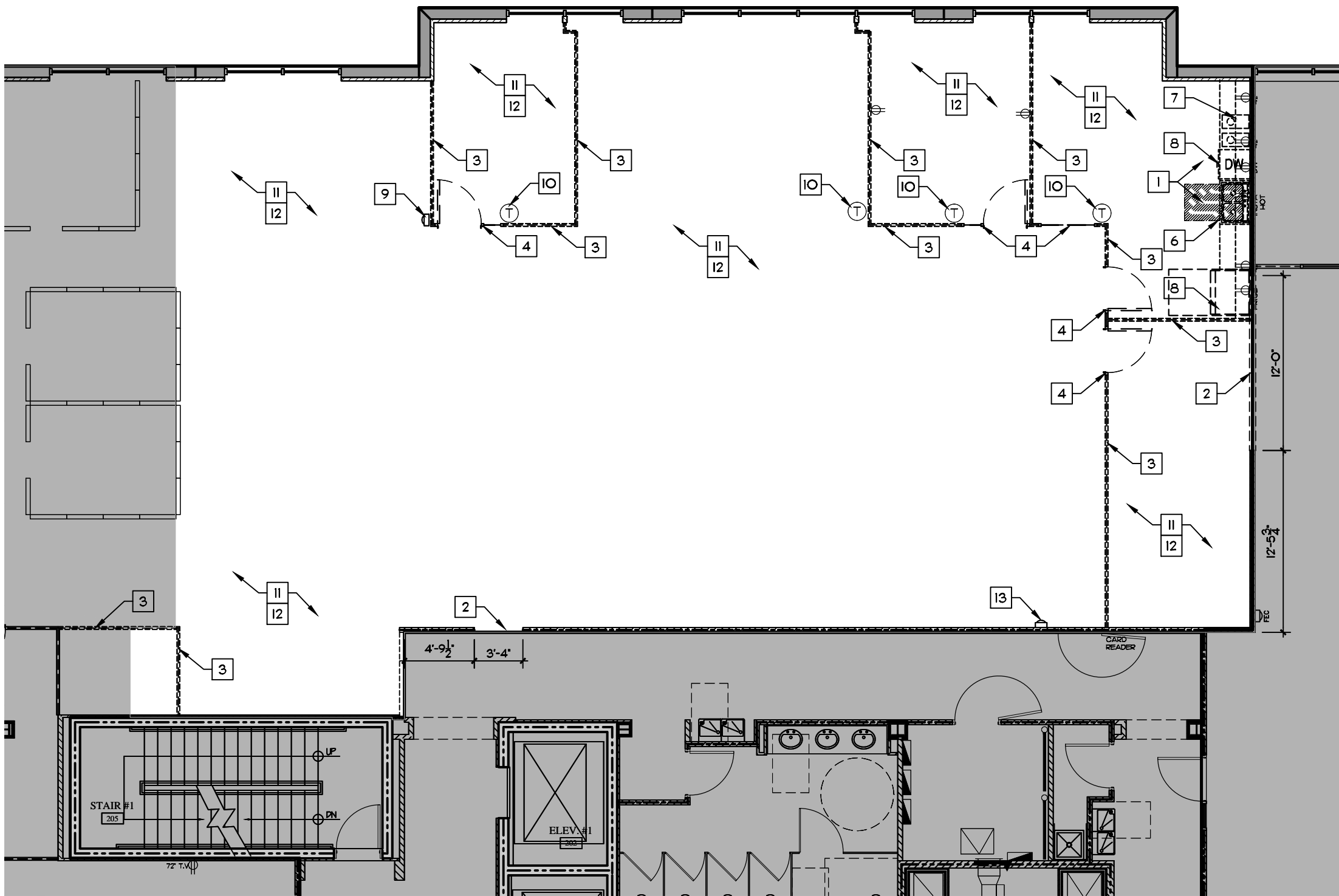


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1 FLOOR PLAN  
SCALE: 3/16"=1'-0"



2 DEMOLITION PLAN  
SCALE: 1/8"=1'-0"

DEMOLITION PLAN KEYNOTES	
1	REMOVE FLOORING IN AREA AS REQUIRED. COORDINATE WITH BUILDING OWNER
2	REMOVE PORTION OF EXISTING 1-HOUR RATED METAL STUD WALL - SEE WALL LEGEND THIS SHEET.
3	REMOVE DEMOUNTABLE PARTITION
4	REMOVE DOOR, FRAME AND ALL RELATED ACCESSORIES. COORDINATE WITH OWNER AND TENANT PORTIONS TO BE REUSED
5	REMOVE PORTION OF EXISTING 1-HOUR RATED METAL STUD WALL FOR INSTALLATION OF NEW DOOR - SEE WALL LEGEND THIS SHEET.
6	REMOVE EXISTING PLUMBING FIXTURE AND RELATED ROUGH-IN PLUMBING
7	REMOVE EXISTING CABINERY
8	REMOVE EXISTING APPLIANCES
9	REMOVE EXISTING FIRE EXTINGUISHER AND CABINET
10	REMOVE EXISTING THERMOSTAT TO BE RELOCATED - SEE MECHANICAL DRAWINGS FOR NEW LOCATIONS
11	EXISTING CEILING GRID AND TILES TO REMAIN - ADJUST ONLY AS REQUIRED FOR NEW WALLS
12	ADJUST EXISTING LIGHTS PER NEW PLAN - ADJUST CIRCUITING AS REQUIRED TO CORRESPONDING ADJUSTED TENANT SPACES
13	EXISTING FIRE EXTINGUISHER AND CABINET TO REMAIN

DOOR AND FRAME SCHEDULE											
DOOR NUMBER	DOOR TYPE	DOOR					FRAME		FIRE RATING LABEL	HWR GRP	NOTES
		WD	HGT	THK	MAT'L	FINISH	MAT'L	FINISH			
118	B	3'-0"	8'-0"	1 3/4"	WOOD	STAIN	---	---	45 MIN	---	Building standard
401	B	3'-0"	8'-0"	1 3/4"	WOOD	STAIN	---	---	45 MIN	---	Building standard
402	A	3'-0"	9'-10"	1 3/4"	WOOD	STAIN	---	---	NA	---	Lifespace
403	A	3'-0"	9'-10"	1 3/4"	WOOD	STAIN	---	---	NA	---	Lifespace
404	A	3'-0"	9'-10"	1 3/4"	WOOD	STAIN	---	---	NA	---	Lifespace
405	A	3'-0"	9'-10"	1 3/4"	WOOD	STAIN	---	---	NA	---	Lifespace

DOOR NOTES:

- ALL DOORS FACING COMMON AREA SHALL BE 3'X8' SOLID CORE STAIN GRADE BIRCH VENEER, STAINED TO MATCH TENANT'S SAMPLE. GC TO SUBMIT STAIN SAMPLE TO TENANT FOR APPROVAL.
- ALL INTERIOR DOOR FRAMES SHALL BE PAINTED HOLLOW METAL. GC TO SUBMIT PAINT SAMPLE TO OWNER FOR APPROVAL.
- TENANT ENTRY DOOR SHALL RECEIVE THE FOLLOWING HARDWARE:  
LOCK SETS - SCHLAGE AL SERIES, JUPITER BRUSHED CHROME.  
HINGES - HAGER 177 4X5/8" BRUSHED CHROME.  
DOOR STOP - ROCKWOOD WALL BUMPER #407 BRUSHED CHROME.  
DOOR CLOSER - DORMA #TS93-1 T - 90 DEGREE - BRUSHED CHROME.
- VERIFY ALL LOCKSET REQUIREMENTS W/ OWNER. SUBCONTRACTOR TO SUBMIT ALL HARDWARE SCHEDULE FOR OWNER'S APPROVAL. TENANT ENTRY DOOR LOCKSET TO BE MASTER KEY SYSTEM. COORDINATE W/ BUILDING MANAGEMENT. GC TO PROVIDE TENANT MASTER KEY SYSTEM COORDINATE WITH END USER.
- ALL EXIT HARDWARE SHALL COMPLY WITH 2007 F.B.C. 1008.8 AND FLORIDA FIRE PREVENTION CODE SECTION 7.2.16 DOOR OPERATIONS.
- FIELD VERIFY OPERATION OF EXISTING DOORS TO COMPLY WITH NEW FINISHES. FIELD VERIFY DIMENSION OF UNDERCUT OF EXISTING DOORS WITH ARCHITECT. OPTIMUM UNDERCUT NOT TO EXCEED 1/2"
- ALL TENANT ENTRY DOORS TO BE UL RATED FOR 45 MINUTES.
- ALL CLOSERS ON RATED DOORS SHALL BE UL LISTED.
- ALL OTHER DOORS LABELED 'LIFESPACE' ARE BY THE DEMOUNTABLE PARTITION PROVIDER.
- LIFESPACE DOORS- STAIN FINISH, SURFACE COLLECTION, CORDOVAN LW-CD, WALNUT VENEER #7506
- DOOR FRAMES BY LIFESPACE.  
POWDERCOAT TO BE SELECTED CEILING HEIGHT COMPLETE WITH STRIKE PLATE AND PIVOT HARDWARE FOR PIVOT DOORS.
- DOORS BY CONTRACTOR  
ENTRY DOORS - SOLID WHEAT BOARD CORE OR MEDEX STAIN GRADE BIRCH, FSC (FOREST STEWARDSHIP COUNCIL)-CERTIFIED WOOD OR RECLAIMED WOOD.  
NO ADDED UREA FORMALDEHYDE.
- DOOR FRAMES BY CONTRACTOR  
PAINTED RECYCLED HOLLOW METAL  
COLOR - SHERWIN WILLIAMS #SW6084, MODEST WHITE,  
FINISH SEMI-GLOSS.  
NOT TO EXCEED VOC LIMIT 250, REGIONALLY MANUFACTURED, POST-CONSUMER RECYCLED CONTENT.  
PRE-ING FSC WOOD FRAMES
- DOOR HARDWARE BY CONTRACTOR  
ALL EXTERIOR DOORS SHALL BE SCHLAGE NO SERIES - ND922PATH 625, LEVER TYPE, POLISHED CHROME ENTRY LOCK.  
INTERIOR DOORS SHALL BE SCHLAGE AL SERIES, JUPITER, LEVER TYPE, BRUSHED CHROME FINISH OR EQUAL.  
LOCKSETS SHALL BE SCHLAGE AL SERIES, JUPITER, LEVER TYPE, BRUSHED CHROME FINISH OR EQUAL.  
PASSAGE SETS SHALL BE SCHLAGE AL SERIES, JUPITER, LEVER TYPE, BRUSHED CHROME FINISH OR EQUAL.  
DOOR STOPS TYPICAL ALL DOORS.
- CARD KEY LOCKS TO BE SCHLAGE CO-200, PROX. CARD ONLY, OR CLIENT APPROVED EQUAL -GC TO COORDINATE WITH TENANT ON EXACT OPERATION ON LOCKS. HARDWARE TO COMPLY WITH NOTE 5 OF DOOR NOTES ABOVE- GC TO PROVIDE TWO PROGRAMMING MODULES TO END USER

DOOR ELEVATIONS

AS SCHEDULED

AS SCHEDULED

A LIFESPACE DOOR

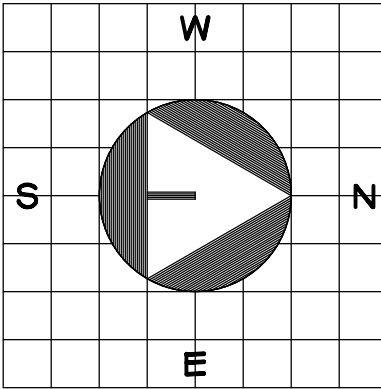
B SOLID CORE WOOD STAIN GRADE DOOR IN HOLLOW METAL FRAME

FLOOR PLAN KEYNOTES	
1	GYPSUM BOARD WRAP ENDS OF WALLS AND BULK-HEAD ABOVE AT NEW OPENING
2	GC TO PROVIDE CODE REQUIRED TACTILE SIGNAGE AT EXIT DOORS
3	-
4	GC TO PROVIDE PLUMB LEVEL SURFACE FROM CEILING TO FLOOR TO RECEIVE DEMOUNTABLE WALL TYPICAL FOR ALL DEMOUNTABLE WALL TO DRYWALL CONDITIONS

WALL LEGEND	
1	EXISTING TILT WALL W/ NEW 5/8" TYPE "X" GYP. BOARD OVER 1-5/8" METAL STUDS AT 16"O.C. PARTITION TO 6" ABOVE FINISH CLG. SEE #12/A3.0. GC SHALL MEASURE EXISTING FIELD CONDITIONS AND NOTIFY ARCH/OWNER OF DISCREPANCIES THAT RESULT RESULT FROM EXISTING BLOCK OR CONCRETE WALLS THAT ARE OUT OF PLUMB OR THICKER THEN WHAT HAS BEEN ASSUMED IN THESE DOCUMENTS
2	NEW DEMOUNTABLE PARTITION
3	EXISTING 1-HR RATED DEMISING WALL G.C. SHALL CHECK ALL EXISTING RATED WALLS TO MAKE SURE THAT THE REQUIRED WARNING SIGNAGE IS PAINTED ABOVE CEILINGS. IF NOT THE CONTRACTOR SHALL PAINT ABOVE THE CEILING TO BE VISIBLE 'FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS'
4	NEW 1-HR RATED DEMISING WALL G.C. SHALL CHECK ALL EXISTING RATED WALLS TO MAKE SURE THAT THE REQUIRED WARNING SIGNAGE IS PAINTED ABOVE CEILINGS. IF NOT THE CONTRACTOR SHALL PAINT ABOVE THE CEILING TO BE VISIBLE 'FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS'
	FIRE EXTINGUISHER CABINET - SEE DETAIL #19/A3.0
	CEILING MOUNTED EXIT LIGHTS AS REQ'D - SEE ELECTRICAL DRAWINGS

PARTIAL DEMOLITION  
& FLOOR PLAN

SCALE: 3/16" = 1'-0"



Tenant Improvements For:

NOVATIONS

Suite 410  
1641 Worthington Road  
West Palm Beach, Florida

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file name: NOV-FP.DWG

revisions:

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date: 12/13/13  
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